

ORDINANCE NO. 393

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST. JOE, FLORIDA BY AND THROUGH PROCEDURES REQUIRED FOR SMALL-SCALE MAP AMENDMENTS PURSUANT TO AUTHORITY UNDER STATE STATUTES SECTION 163.3187, SPECIFICALLY CHANGING A TRACT OF LAND CONTAINING APPROXIMATELY NINETEEN (19) ACRES AND LYING IN A PORTION OF PARCEL ID #-03072-001R, AND BEING A PART OF SECTION 19, TOWNSHIP 8, SOUTH, RANGE 10 WEST, GULF COUNTY, FLORIDA FROM AGRICULTURAL TO HIGH DENSITY RESIDENTIAL (R-3); AMENDING THE CITY OF PORT ST. JOE FUTURE LAND USE MAP; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, §163.3187, Florida Statutes provides for the authority and procedure for the City Commission of Port St. Joe, Florida to amend its Future Land Use Map utilizing procedures applicable to small scale developments; and

WHEREAS, On October 5, 2007, The St. Joe Company filed its application for an amendment to the City of Port St. Joe Future Land Use Map for a small scale development consisting of approximately 19 acres; and

WHEREAS, in accordance with §163.3187(1)(f)(2), Florida Statutes and §166.041(3)(c), Florida Statutes, notice was duly provided to the public of a public hearing to be held on November 6, 2007 for the adoption of the amendment to the Future Land Use Map; then and

NOW THEREFORE BE IT ENACTED BY THE PEOPLE OF THE CITY OF PORT ST. JOE, FLORIDA:

SECTION 1. APPROVAL

A. The application for the small scale amendment to the Future Land Use Map for the Property described in Exhibit "A", attached and incorporated herein (the "Property"), is hereby approved and the land use designation for the Property on the City of Port St. Joe Future Land Use Map is hereby changed from Agricultural to **High Density Residential (R-3)**. The application and all documentation submitted by the Applicant in support of it are hereby incorporated by reference.

B. In addition to the density restrictions set forth in the High Density Residential (R-3) future land use category, the Property is limited to a maximum of ten units per acre.

C. The small scale amendment to the Future Land Use Map for the Property furthers the economic objectives set forth in the executive order issued under Section 288.0656(7), Florida Statutes, and the property subject to the plan amendment has or shall undergo public review to ensure that all concurrency requirements and federal, state and local environmental permit requirements are met.

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The Board of City Commissioners hereby finds and determines that the approval of the application and change in land use as set forth in Section 1 is consistent with the goals, objectives and policies of the City of Port St. Joe Comprehensive Plan.

SECTION 3. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 4. OTHER ORDINANCES

Except as specifically modified or changed in this Ordinance, all provisions of the Code shall apply in the same manner as throughout the City.

SECTION 5. FUTURE LAND USE MAP

Upon this Ordinance becoming effective, the City of Port St. Joe Future Land Use Map shall be amended to show the Property as having a land use of **High Density Residential (R-3)**. The City Clerk is hereby directed to revise the City of Port St. Joe Future Land Use Map to reflect this designation.

SECTION 6. SEVERABILITY

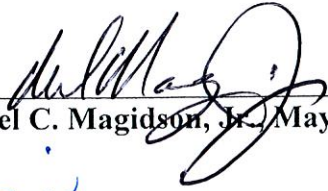
The provisions of this Ordinance are hereby declared to be severable. If any provision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 7. EFFECTIVE DATE

This Ordinance shall become effective as provided by law.

This Ordinance was adopted in open regular meeting after its second reading this 6th day of November, 2007.

**THE CITY OF PORT ST. JOE BOARD
OF CITY COMMISSIONERS**


Mel C. Magidson, Jr., Mayor

Attest :


City Clerk



Exhibit "A"
(Property Description and Map)

Adopted 19.3 +/- acre R-3 High Density Residential Land Use





Gulf County, Florida

19.3 +/- Acres in Section
19 of T8S, R10W

LEGEND

-  Approx. Boundary of Subject Property
-  Port St. Joe City Limits

The City of Port St. Joe and
Gulf County Future Land Use Codes

-  AG - Agriculture
-  C1 - Commercial
-  R1 - Residential
-  R3 - Residential High Density
-  Commercial District - G.C.
-  Agriculture
-  Residential

Aerial imagery taken in April 2004.



DISCLAIMER

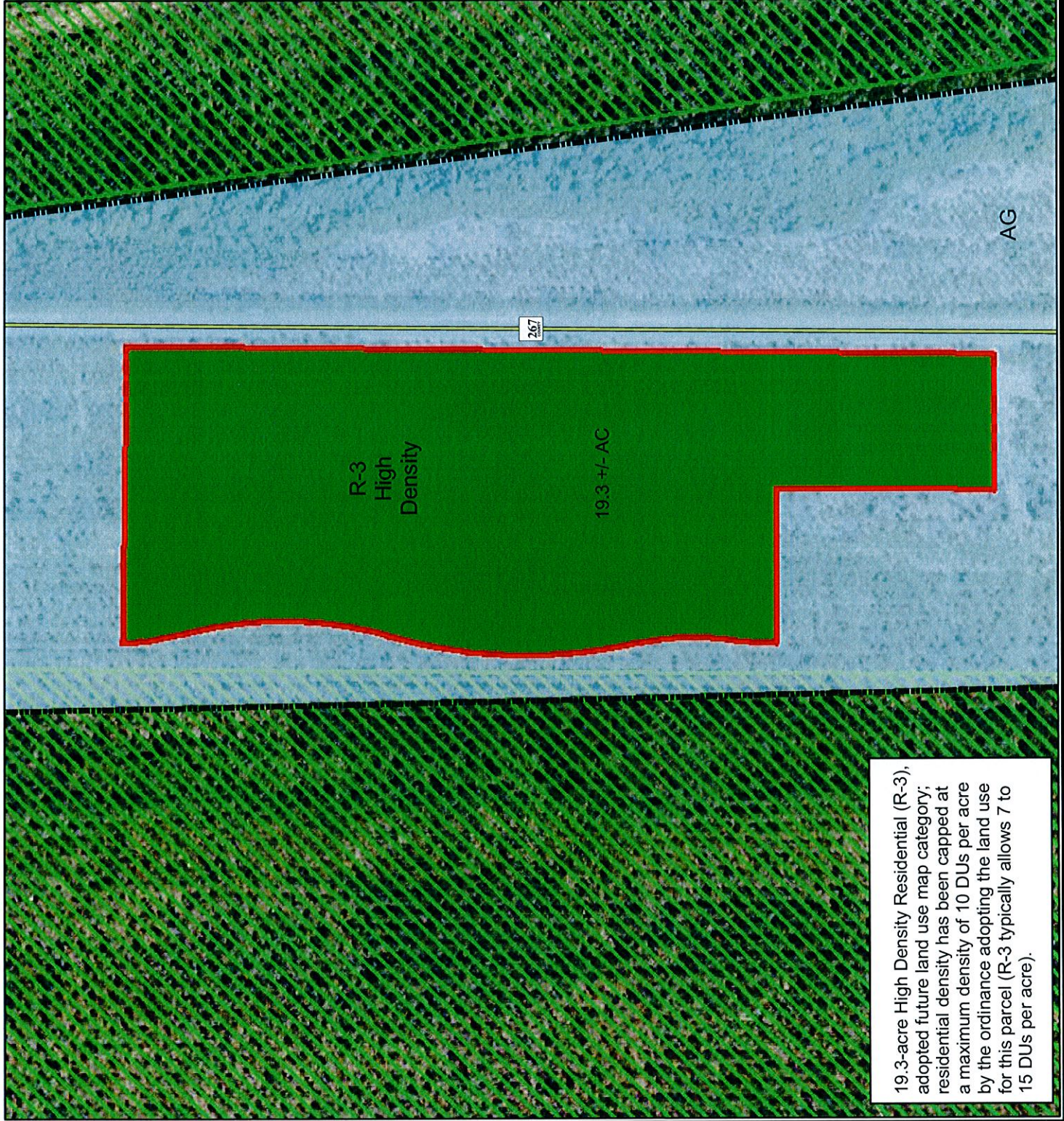
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The information shown, attached or contained herein is believed accurate but is not warranted or guaranteed, is subject to errors, omissions and change without notice and should be independently verified. The availability and pricing of The St. Joe Company property (through any of its affiliates or subsidiaries) is also subject to change without notice. Access to this property is prohibited without the express consent of The St. Joe Company or its agent. "ST. JOE" and the "Taking Flight" design are service marks of The St. Joe Company. Void where prohibited by law. Equal Housing Opportunity.



Penny Ford 11/05/07

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Park Residential Landuse Map 110507.mxd



19.3-acre High Density Residential (R-3), adopted future land use map category; residential density has been capped at a maximum density of 10 DUs per acre by the ordinance adopting the land use for this parcel (R-3 typically allows 7 to 15 DUs per acre).

DESCRIPTION:

A parcel of land lying in Section 19, Township 8 South, Range 10 West, Township 8 South, Range 11 West, Gulf County, Florida, being more particularly described as follows:

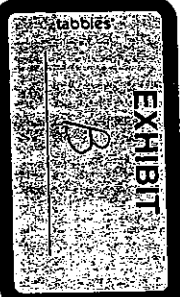
Commence at a found 4 inch square concrete monument (St. Joe Paper Company), marking the Northwest corner of the Southwest Quarter of the Southwest Quarter of Section 19, Township 8 South, Range 10 West, Gulf County, Florida. Said point also being the Northwest corner of Jonesville Subdivision, as recorded in plat book 1, page 57, of the public records of Gulf County, Florida; thence proceed North 01 degrees 25 minutes 08 seconds West, on the West line of said Section 19, for a distance of 1427.61 feet; thence leaving said West line proceed South 89 degrees 32 minutes 50 seconds East, for a distance of 97.52 feet to the POINT OF BEGINNING; said point being on a curve concave Easterly, having a radius of 475.00 feet, and a central angle of 09 degrees 46 minutes 23 seconds; thence northerly along the arc of said curve for an arc distance of 81.02 feet (chord of said arc being North 04 degrees 07 minutes 49 seconds East, for a distance of 80.92 feet) to a point of reverse curve to the left; thence along said curve with a radius of 525.00 feet, through a central angle of 21 degrees 37 minutes 05 seconds, for an arc distance of 198.09 feet (chord of said arc being North 01 degrees 47 minutes 32 seconds West, for a distance of 196.91 feet) to a point of reverse curve to the right; thence along said curve with a radius of 975.00 feet, through a central angle of 28 degrees 27 minutes 51 seconds, for an arc distance of 484.37 feet (chord of said arc being North 01 degrees 37 minutes 51 seconds East, for a distance of 479.41 feet) to a point of reverse curve to the left; thence along said curve with a radius of 762.00 feet, through a central angle of 30 degrees 47 minutes 27 seconds, for an arc distance of 409.50 feet (chord of said arc being North 00 degrees 28 minutes 03 seconds East, for a distance of 404.59 feet) to a point of reverse curve to the right; thence along said curve with a radius of 500.00 feet, through a central angle of 13 degrees 41 minutes 37 seconds, for an arc distance of 119.50 feet (chord of said arc being North 08 degrees 04 minutes 52 seconds West, for a distance of 582.60 feet to a point on the West right of way line of Jones Homestead Road (66 foot right of way); thence South 00 degrees 29 minutes 21 seconds West, along said West right of way line, for a distance of 1706.81 feet; thence leaving said West right of way line run North 89 degrees 32 minutes 50 seconds West, for a distance of 266.36 feet; thence North 00 degrees 27 minutes 10 seconds East, for a distance of 428.50 feet; thence North 89 degrees 32 minutes 50 seconds West, for a distance of 304.89 feet to the Point of Beginning. Containing 19.34 acres, more or less.

FIELD DATE (BOOK AND PAGE)
N/A

CAMPED TO

I HEREBY CERTIFY THAT THIS DESCRIPTION AND THE SKETCH HEREON AS SHOWN HEREON, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF

UNLESS IT BEARS THE SIGNATURE OF A FLORIDA LICENSED SURVEYOR OR MAP IS FOR INFORMATION



NOTICE OF SMALL SCALE MAP AMENDMENT LAND USE CHANGE

The City of Port St. Joe City Commission Proposes to adopt by ordinance the following:

ORDINANCE NO. ____

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF PORT ST. JOE, FLORIDA BY AND THROUGH PROCEDURES REQUIRED FOR SMALL-SCALE MAP AMENDMENTS PURSUANT TO AUTHORITY UNDER STATE STATUTES SECTION 163.3187, SPECIFICALLY CHANGING PORTIONS OF PARCEL ID #-03072-001R, 19.3 ACRES OF A TRACT OR PARCEL OF LAND LYING AND BEING PART OF SECTION 19 OF TOWNSHIP 8 SOUTH, RANGE 10 WEST, GULF COUNTY, FLORIDA FROM AGRICULTURAL TO HIGH DENSITY RESIDENTIAL (R-3); AND PROVIDING AN EFFECTIVE DATE.

The public hearing for the adoption of the Ordinance will be held on Tuesday, November 6, 2007 at 6:00 P.M. at City of Port St. Joe City Hall located at 305 Cecil G. Costin, Sr. Blvd, Port St. Joe, Florida 32456. A first reading of the Ordinance will occur at the same time and location on October 16, 2007. Copies of the Ordinance are available for public inspection at City of Port St. Joe City Hall located at 305 Cecil G. Costin, Sr. Blvd, Port St. Joe, Florida 32456.

The hearing may be continued from time to time as may be necessary.

Interested persons may attend and be heard at the public hearing or provide comments in writing to the City Commissioners of the City of Port St. Joe at City of Port St. Joe City Hall 305 Cecil G. Costin, Sr. Blvd., Port St. Joe, Florida 32456. Transactions of the public hearing will not be recorded. Persons wishing to appeal any decision made during the hearing will need a record of the proceeding and should ensure that a verbatim record is made, including the testimony on which the appeal is based.

Any person who wishes to attend and requires assistance may call the City Clerk's Office at (850) 229-8261 ext. 114.

